



Lutwyche, 23/15 Norman Avenue

Upmarket Apartment with a Panoramic Vista

In a sea of standard, occasionally, there emerges a standout property, and this 'Standout Apartment' is undoubtedly one such gem destined for a new owner. This residence is impeccably maintained and occupies a corner location on an upper level of this charming Boutique Complex. It boasts abundant natural light and flowing easterly breezes facilitated by sliding doors, meticulously crafted to optimise panoramic views.

Perched high within the 'Norman Vue' complex, the property features:

- * City lights & mountain vistas from every aspect of the apartment;
- * Elegant Bamboo flooring graces the kitchen, dining, and living areas;
- * An open-plan layout seamlessly connects to the north-east veranda;
- * A well-appointed kitchen with stone benches, high-end Bosch appliances;



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SOLD

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For Sale

Contact for Information

View

ljhooker.com.au/BRM5F2S

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- * Glass splashback, contemporary cabinetry, with soft-close drawers & doors;
- * Plantation shutters to sliding doors and windows provide maximum privacy;
- * Quality floor-to-ceiling tiling in both bathrooms, with twin basins ensuite;
- * Air-conditioning, video intercom access, remote garage, and secure lift access from the basement levels, plus a picturesque entertaining & BBQ area on the top level.

Situated just 5 kilometres from Brisbane's CBD, Lutwyche has undergone substantial expansion and infrastructure development. The 'Norman Vue' complex stands prominently, offering a unique skyline presence. It provides an ideal blend of inner-city living combined with urban amenities.

Commuters benefit from convenient access to major roadways, including the Inner City Bypass, providing seamless travel to the heart of Brisbane and beyond. Public transport options abound, with Lutwyche's proximity to bus services and the nearby Woolloowin train station offering efficient connections for daily commuting. Additionally, the suburb is strategically positioned for easy access to the Northern Busway and the Airport Link tunnel, facilitating stress-free travel. In terms of entertainment, residents can explore the vibrant local scene, with an array of cafes, restaurants, and Market Central Lutwyche nearby. For those seeking recreational activities, the Kedron Brook parklands and bikeway at the end of the street provide a serene escape. Lutwyche offers a well-balanced lifestyle with a blend of urban conveniences and natural retreats.

Whether you're a discerning investor seeking a distinctive property or an owner-occupier appreciating a rare opportunity, this apartment holds immense appeal.

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Note: This property is being sold without a price guide, however, the website may have filtered the property into a price bracket for website functionality purposes only.



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More About this Property

Property ID BRM5F2S
Property Type Apartment

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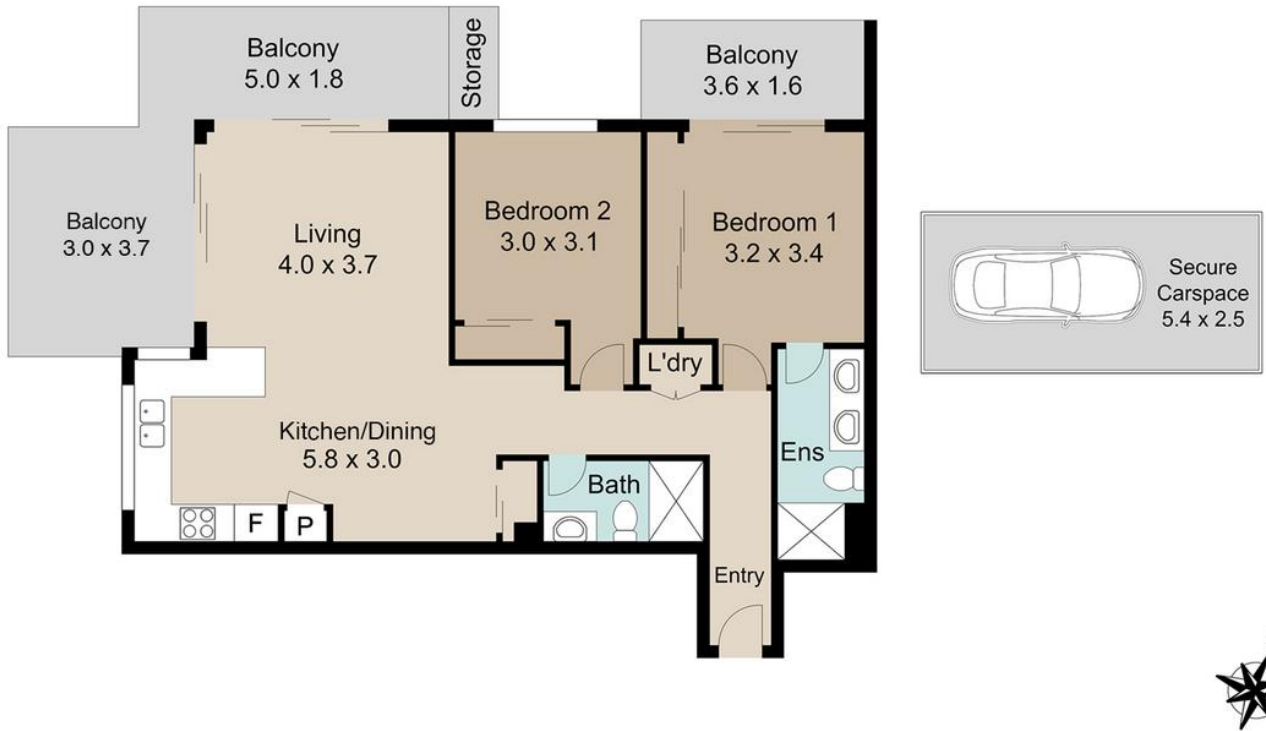
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Floor plans are intended to give a general indication of the proposed layout only. All images and dimensions are not intended to form part any contract or warranty.