



35/16 Bluebird Avenue, Ellen Grove

VACANT & READY TO MOVE IN —LOW-MAINTENANCE LIVING

Discover comfortable, low-maintenance living in this beautifully presented three-bedroom, two-bathroom townhouse, now VACANT and ready for its new owner to move straight in.

Perfectly suited to first-home buyers, downsizers, couples, small families or savvy investors, this well-maintained home offers the ideal combination of comfort, convenience and easy living - with no waiting for tenants or leases to expire.

Positioned at the end of a quiet complex with only one adjoining neighbour, this inviting townhouse enjoys privacy, natural light and a peaceful setting. The light-filled open-plan living and dining area flows effortlessly to the well-appointed kitchen, creating a welcoming space for everyday living and entertaining.

Step outside to the generous private patio, the perfect place to relax, enjoy a morning coffee or entertain family and friends.

Property Features -

Vacant and ready to move in immediately
Freshly painted internally and externally in 2024

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FOR SALE

Please Call

AGENTS

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AGENCY

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All information contained therein is gathered from relevant third parties sources.
We cannot guarantee or give any warranty about the information provided.
Interested parties must rely solely on their own enquiries.



Near-new kitchen benchtops and cooktop
Three generous bedrooms, including a master with built-in robe and private ensuite
Family bathroom upstairs with separate shower and bathtub
Additional downstairs powder room

- conditioning to the living area and master bedroom

Single lock-up garage with internal access

Potential for an additional vehicle to be parked at the end of the laneway directly in front of the townhouse (subject to body corporate requirements)

Quiet end position with only one neighbouring townhouse

Private outdoor patio, perfect for entertaining or relaxing

Access to onsite BBQ and gym facilities

Conveniently Located Close To

Forest Lake Shopping Centre

Richlands Train Station

Carole Park State School and Forest Lake State High School

5 Star Supermarket, just a short four-minute walk away

Parks and walking tracks

Carole Park Aquatic Centre, featuring a heated lap pool, learn-to-swim programs, recreational swimming, squad training, group fitness classes and family-friendly leisure facilities

Easy access to the Ipswich Motorway, Centenary Highway and Logan Motorway

Approximately 30 minutes to Brisbane CBD

With the property vacant and ready to go, there is nothing to do but move in and enjoy. Whether you're searching for your first home, a low-maintenance lifestyle or a quality investment opportunity, this townhouse is well worth your inspection.

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MORE DETAILS

Property ID	B4XYF4R
Property Type	Townhouse
Land Area	138 m2
Including	Ensuite
	Air Conditioning
	Toilets (3)
	Balcony
	Gym
	Fully Fenced

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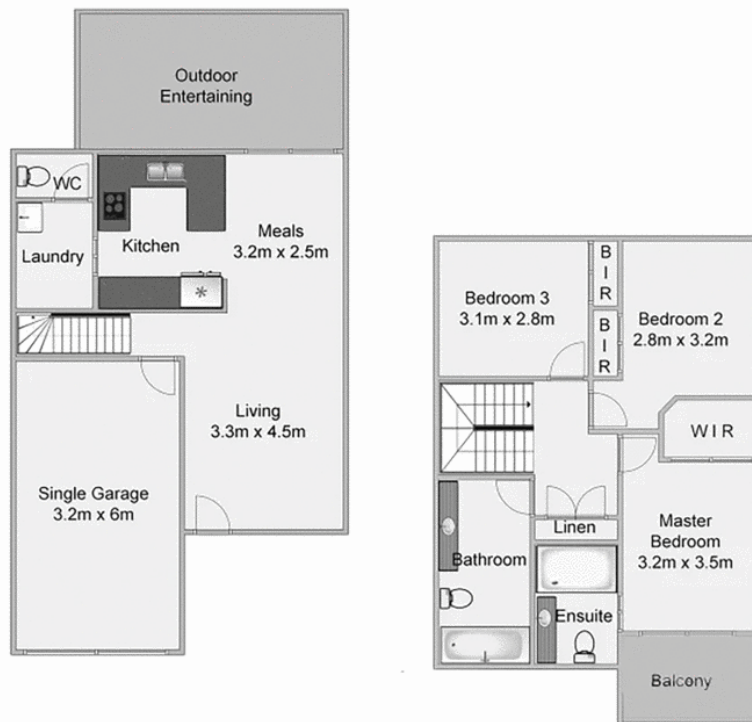
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All dimensions are approximate: they are subject to errors and inaccuracies and no liability will be accepted. Plans are shown for marketing purposes only.