



11/46-48 Clissold Parade, Campsie

SOLD BY GEORGE EL DAGHL ~ 0417 207 256

Standout Oversized Top Floor Apartment in Blue Chip Location!

Set high above the surrounds and commanding a sweeping district panorama, this oversized top floor apartment delivers an exceptional sense of space, sunlight and privacy with leafy treetop vistas stretching to the racecourse. Fresh and airy and dressed in stylish neutral tones, it reveals a superb layout with an inviting lounge flowing seamlessly to a sun washed balcony where the outlook becomes part of the every day. There is a separate dedicated dining area, while the timber-appointed kitchen is both generous and practical, complete with stainless-steel gas appliances. Accommodation is equally well-proportioned, with two bedrooms appointed with built-in wardrobes. The main bedroom enjoys its own private view-swept balcony, offers excellent versatility as a home office or potential third bedroom. Additional features include split-cycle air conditioning in both the lounge and main bedroom, a fully tiled bathroom with a separate bath and shower, an internal laundry and a lock-up garage with storage. It is perfectly positioned in a well-maintained security building in one of Campsie's most convenient pockets, moments from the energy of Beamish Street's shopping and dining strip, Campsie Station and buses, while within easy reach of the lush green open spaces of the

2 🏠 1 🚿 1 🚗

FOR SALE
SOLD AT AUCTION BY GEORGE EL
DAGHL

AGENTS

George El Daghl
0417 207 256
george@ljhcampsie.com.au

AGENCY

LJ Hooker Campsie
(02) 9789 6088

All information contained therein is gathered from relevant third parties sources.
We cannot guarantee or give any warranty about the information provided.
Interested parties must rely solely on their own enquiries.



Cooks River Parklands, cycleways and playgrounds.

- Expansive layout with spacious lounge and separate dining
- Sun bathed balcony w/ sweeping leafy views to race course
- Open plan timber kitchen w/ stainless-steel gas appliances
- Well-proportioned bedrooms appointed with built-in robes
- Main bedroom opens to private sunlit view-swept balcony
- Split-cycle air conditioning in lounge and main bedroom
- Stylish fully-tiled bathroom w/ separate bath and shower
- Potential for study/third bedroom, timber floorboards
- Internal laundry, security building, LUG with storage
- Stroll to Campsie Station, Beamish Street's shops/dining
- Walk to green playgrounds of the Cooks River & cycleways

Property Size: Total 121sqm / Internal 98sqm approx.

Strata Levies: \$1,156.30 per quarter approx.

Council Rates: \$429.00 per quarter approx.

Water Rates: \$208.77 per quarter approx.

Details: George El Daghl ~ 0417 207 256

- some photos may be virtually edited

MORE DETAILS

Property ID MKDF8V
Property Type Apartment

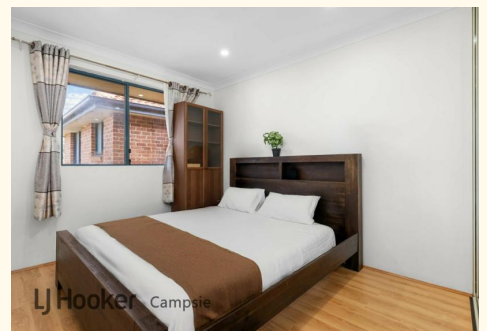
George El Daghl 0417 207 256

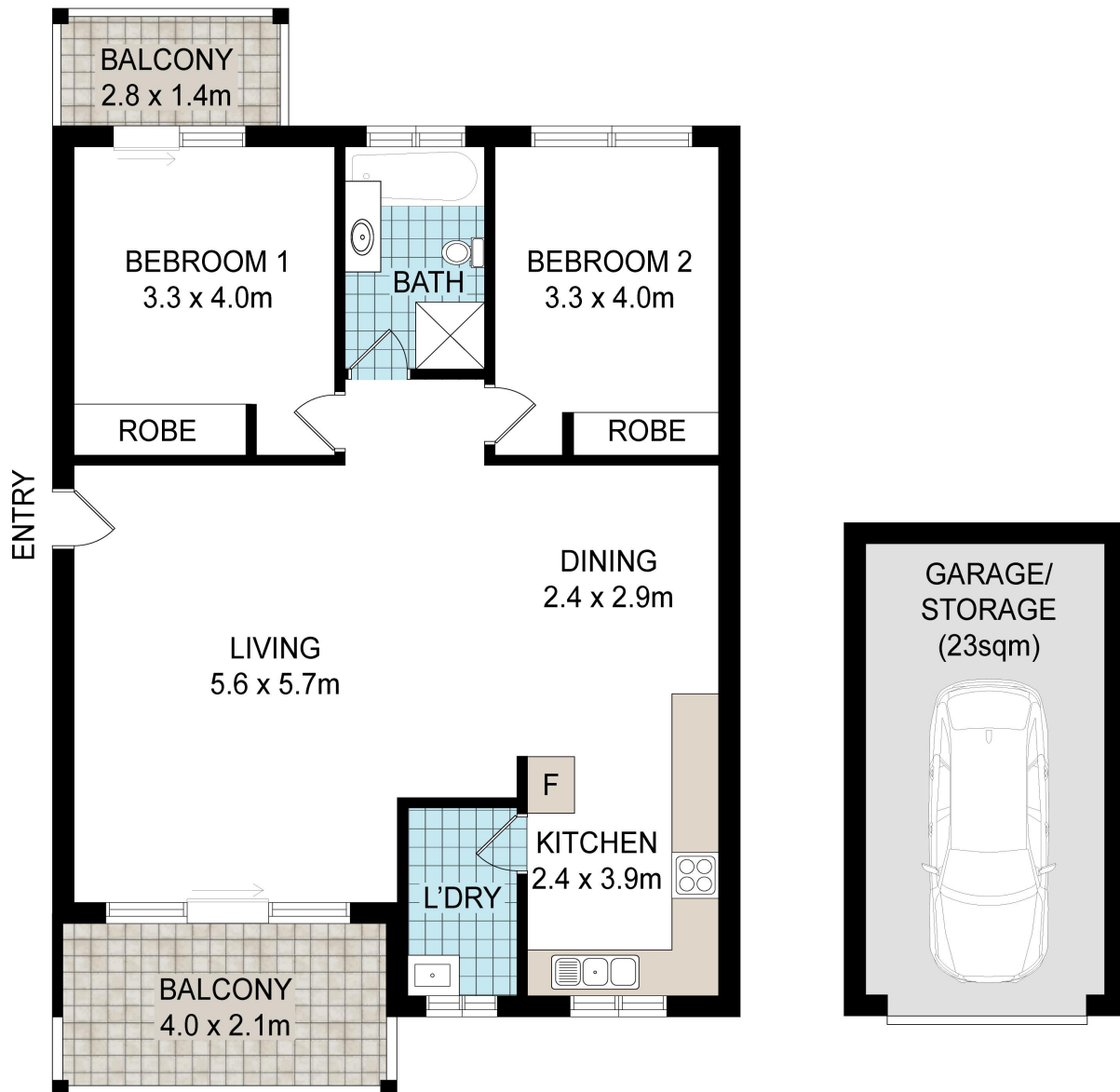
Sales Executive | george@ljhcampsie.com.au

LJ Hooker Campsie (02) 9789 6088

197 Beamish Street, CAMPSIE NSW 2194

campsie.ljhooker.com.au | info@ljhcampsie.com.au





11/46-48 CLISSOLD PARADE, CAMPSIE

DISCLAIMER: WE HAVE OBTAINED ALL INFORMATION IN THIS DOCUMENT FROM SOURCES WE BELIEVE TO BE RELIABLE; HOWEVER, WE CANNOT GUARANTEE ITS ACCURACY. PROSPECTIVE PURCHASERS ARE ADVISED TO CARRY OUT THEIR OWN INVESTGATIONS